

FOR SALE

SITE A
2.31 Acres

Deerfield Links Dr

SITE B
3.98 Acres

US 17 Bypass

DEERFIELD LINKS DRIVE

Surfside Beach, South Carolina

DEVELOPMENT PARCELS AVAILABLE





SITE A

Size:	2.31 Acres
PIN#:	45804040015
Permitted Use:	Single Family Dwellings, Duplex
Land Use Study:	10 Duplex Units
Price:	\$350,000

SITE B

Size:	3.98 Acres
PIN#:	45805010027, 45805010028, 45805010029
Permitted Use:	Single Family Dwellings, Duplex
Land Use Study:	20 Duplex Units
Price:	\$700,000

HIGHLIGHTS

2 sites zoned SF-6 Residential

Great location in Deerfield Planation, a well-established expansive community including single-family homes, townhomes and condominium communities.

These choice sites are situated at the US 17 Bypass entrance, one of the two primary entrances serving the community.

Convenient access just minutes from the beach, restaurants, retail and entertainment venues.

Sites have private road access with public utilities.

Wetland Certification on File



For more information, please contact:

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707. - SF 6 Residential District (SF 6).

Intent. It is the intent of this district to provide areas for medium density one- and two-family residential purposes. Encroachment by high-density multi-family residential, commercial, industrial, or other uses incompatible with or capable of adversely affecting the residential character of this district shall be discouraged.

707.1 Permitted Uses:

- (A) One-family dwellings, excluding mobile homes;
- (B) Duplexes;
- (C) Golf courses; and
- (D) Accessory uses.
- (E) Churches, synagogues, temples, and other places of worship subject to the provisions of Article 12.

707.2 Single-Family and Two-Family Dwelling Requirements. Unless otherwise specified elsewhere in this ordinance, single-family and duplex dwellings shall meet the following requirements:

- (A) *Front yard setback:* Twenty (20) feet;
 - (B) *Side yard setback:* Ten (10) feet
 - (C) *Rear yard setback:* Fifteen (15) feet;
 - (D) *Minimum lot area:*
 - Single-family: Six thousand (6,000) square feet;
 - Two-family: Eight thousand (8,000) square feet;
 - (E) *Minimum lot width at building line:* Sixty (60) feet;
 - (F) *Maximum height of structure:* Thirty-five (35) feet from grade (not to exceed three (3) stories); and,
 - (G) *Building coverage:* Not to exceed thirty-five (35) percent of the lot.
- (Ord. No. 15-02, § 1, 2-19-02)

707.3 Conditional Uses:

- (A) Reserved.
- (B) Publicly owned buildings, facilities, or lands, provided the review as required by Section 6-29-540 of South Carolina State Law is complete.
- (C) Publicly or privately owned utility substations or sub-installations, including water towers, provided the review as required by Section 6-29-540 of the South Carolina State Law has been completed.
- (D) Private educational facilities, nurseries, or day care centers, provided that:
 - 1. Such uses shall meet the minimum standards set forth for such facilities by the Department of Social Services and other state departments.
 - 2. Such uses shall meet the area requirements of the residential district in which it is to locate.
 - 3. Reserved.
 - 4. A buffer strip may be required if deemed necessary in order to reduce the noise factor generated by the day care facility.
 - 5. Day/child care centers shall meet the requirements established in section 525
- (E) Accessory living quarters, within an existing dwelling or in a separate structure, provided:
 - 1. When accessory living quarters will be in a separate structure, the minimum lot area shall be equal to two (2) times that normally required for the zoning district where the accessory living quarters is proposed. If located in an existing dwelling, the minimum lot area shall be the same as that of the zoning district.
 - 2. The primary dwelling unit shall be owner-occupied.
 - 3. The tenant of the accessory living quarters is a family member of the owner of the primary dwelling unit, as attested to by a sworn statement signed by a Notary Public.
 - 4. The accessory living quarters may be located in any yard provided all setback requirements are met.
 - 5. The accessory living quarters shall have a bathroom and cooking facilities.
 - 6. The accessory living quarters, if within the primary dwelling unit, may have its own entrance.
 - 7. The construction of the accessory living quarters, within existing structures, shall not alter the appearance or character of the structure. When detached from the primary dwelling unit, it shall be separated by no less than twenty (20) feet or applicable zoning district setbacks.
 - 8. Screening, by fencing or vegetation, is installed to completely block the view from adjacent properties of detached accessory living quarters that are not of like construction (i.e. manufactured home adjacent to a stick-built house).
 - 9. Adequate off-street parking is provided.
 - 10. The conditional use permit for the accessory living quarters shall be renewed every five (5) years to ensure that the units is being used in compliance with these regulations; and

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11. Upon permit expiration, manufactured housing units used as accessory living quarters shall be removed from the property within thirty (30) days and the property restored to its pre-permit condition.

707.3.1 Special Exceptions. Owing to their potential negative impact on the community, the Board of Zoning Appeals may approve the following use(s) as a special exception:

Bed and breakfast establishments (B&Bs) subject to the following conditions:

1. That the special exception complies with all applicable development standards.
2. That the special exception will be in substantial harmony with the area in which it is to be located.
3. That the special exception will not be injurious to adjoining property.
4. That the special exception will contribute to the economic vitality and promote the general welfare of the community.
5. That the special exception will not discourage or negate the use of surrounding property for uses(s) permitted by right.
6. In granting a special exception, the board of zoning appeals may impose such reasonable and additional stipulations, conditions, or safeguards as, in its judgement, will enhance the siting of the proposed special exception.

(Ord. No. 87-01, § 1, 7-10-01)

707.4 Other Requirements:

- (A) All allowed uses shall be required to conform to the standards set forth in Article VIII.
- (B) Signs permitted in SF 10 Residential Districts, including the conditions under which they may be located, are set forth in Article X.

(Ord. No. 67-07, § 1, 5-1-07)

707A. - MSF 6 Residential District (MSF 6).

All standards within this district are the same as in the SF 6 District except that manufactured/mobile homes are an allowed use.

(Ord. No. 67-07, § 1, 5-1-07)



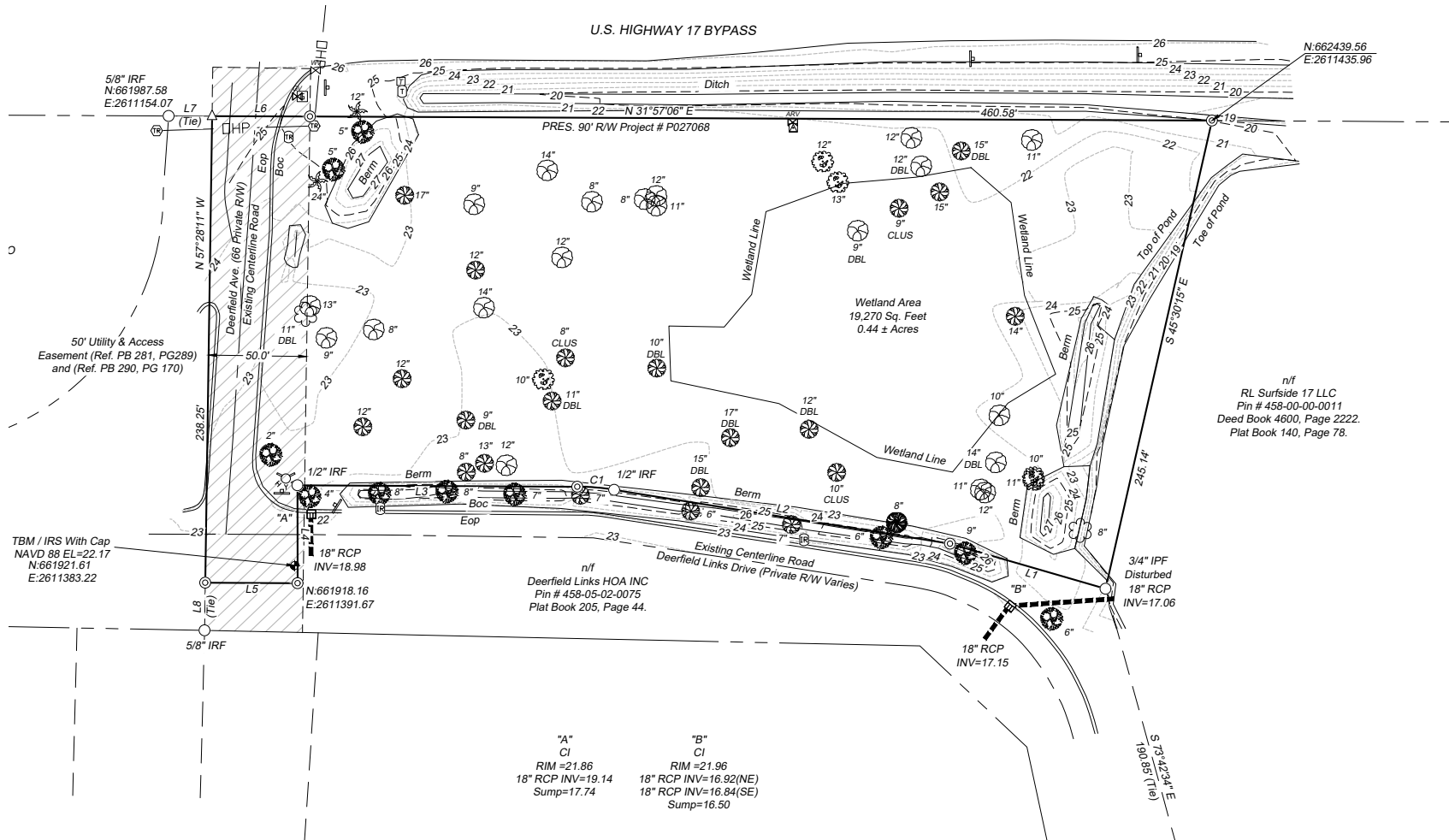
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SITE A (2.31 Acres) - Site Survey



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U.S. HIGHWAY 17 BYPASS

35' STREETSCAPE BUFFER

25' LANDSCAPE BUFFER

11'

11'

PROPOSED POND

25' STREETSCAPE BUFFER

DEERFIELD LINKS DRIVE

STER ENCLOSURE

R20'

R25'

R30'

R30'

R30'

DEERFIELD LINKS DRIVE

PROJECT DATA:

PARCEL PIN# 458-04-04-0015 (2.31 AC),
458-05-01-0027 (0.77 AC), 458-05-01-0028 (2.49 AC),
458-05-01-0029 (0.72 AC)

CURRENT ZONING: SF-6 (6,000 S.F.)

SHOWN ZONING: RE-3

TOTAL UNITS: 30 (15 DUPLEX BUILDINGS)

TOTAL SITE AREA: 6.29 AC.

TOTAL PARKING: 76 SPACES (70 REG + 6 HC)

SETBACKS: FRONT = 20'
SIDE = 7.5'
REAR = 10'
CORNER = 11.25'

MAX BUILDING HEIGHT: 35'

MIN WIDTH AT BUILDING LINE: 20'

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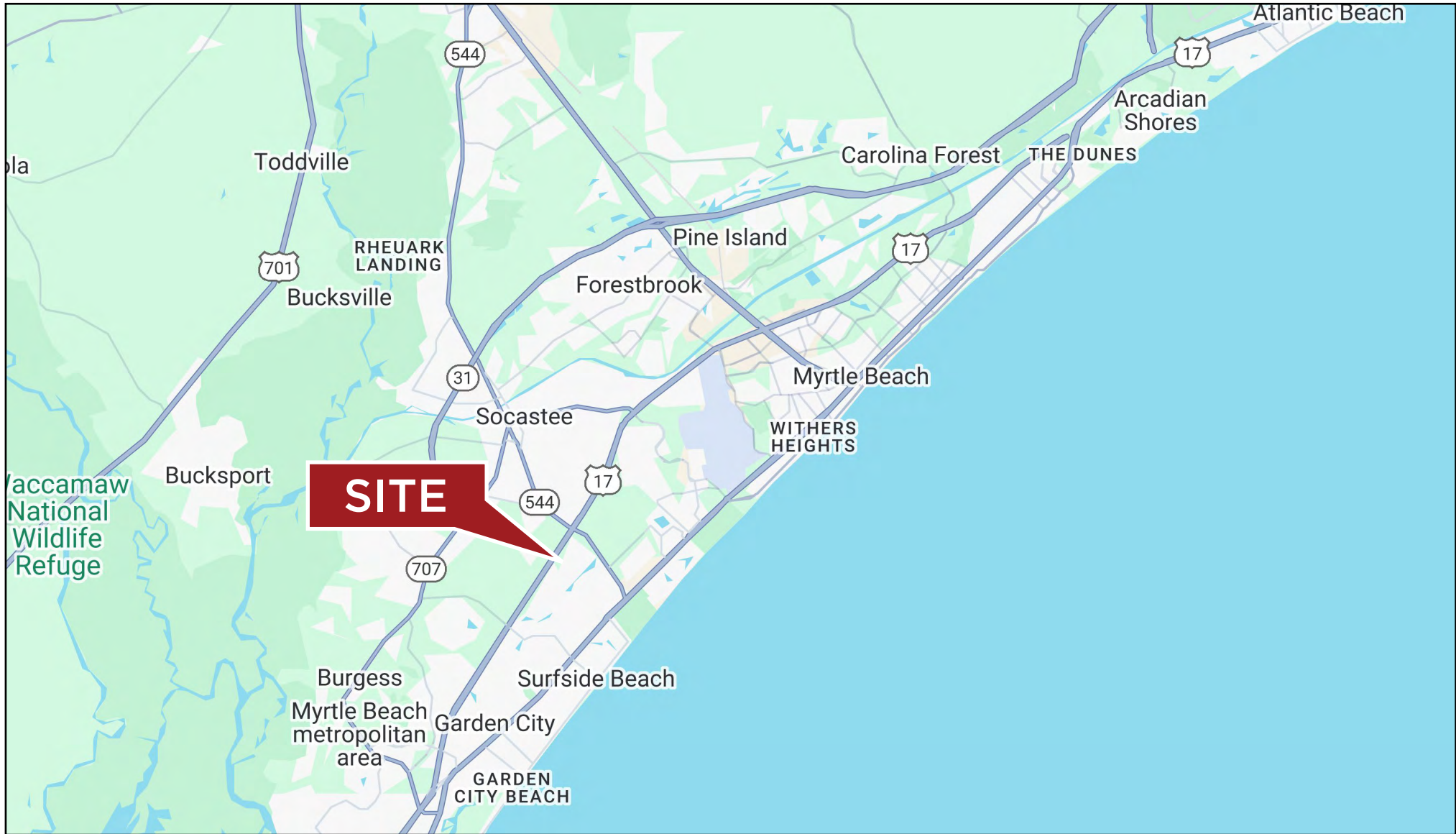


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